

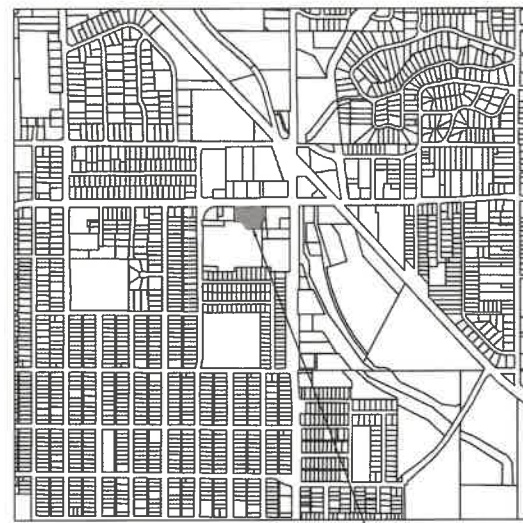
# LINNWILL HY-VEE PLANNED UNIT DEVELOPMENT 300 GRAND AVENUE | WEST DES MOINES, IOWA

**SHIVEHATTER**  
ARCHITECTURE + ENGINEERING  
4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa  
515.223.8104 | www.shivehatter.com  
Iowa | Illinois | Indiana

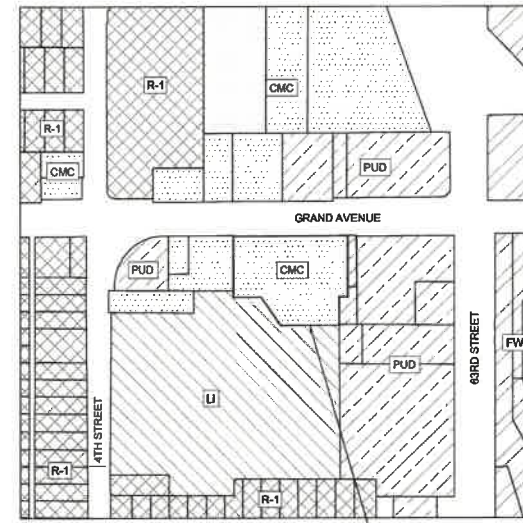
LINNWILL HY-VEE  
HY-VEE, INC.  
300 GRAND AVENUE | WEST DES MOINES, IOWA 50265

DRAWN: \_\_\_\_\_  
APPROVED: \_\_\_\_\_  
ISSUED FOR: CITY APPROVAL  
DATE: 2020-06-18  
PROJECT NO: 188180  
FIELD BOOK: \_\_\_\_\_  
CLIENT NO: \_\_\_\_\_

COVER SHEET



VICINITY MAP:  
1" = 200'



ZONING MAP:  
1" = 250'

### ZONING & PUD BULK REGULATIONS

BUILDING SETBACK	15 FT
FUEL CANOPY SETBACK	35 FT FROM RIGHT-OF-WAY LINE AS MEASURED TO THE EXTREME EDGE OF THE CANOPY
FUEL CANOPY HEIGHT	MUST PROVIDE A MINIMUM CLEARANCE OF 14 FT. THERE SHALL BE NO MAXIMUM FUEL CANOPY HEIGHT; HOWEVER, CANOPY HEIGHTS GREATER THAN 20 FT SHALL ONLY BE ALLOWED IF THE CANOPY IS DEEMED TO CARRY AND REINFORCE THE DESIGN INTENT OF THE VAL-GATE DISTRICT.
LOT SIZE	NO MINIMUM LOT SIZE REQUIRED
PARKING SUMMARY	1 SPACE PER 250 SQUARE FEET OF GROSS FLOOR AREA
PARKING SETBACK	10 FT FROM RIGHT-OF-WAY LINE
PARKING LOT SCREENING	5 FT FROM ALL OTHER PROPERTY LINES SUFFICIENT HEIGHT AND DENSITY
OPEN SPACE LANDSCAPING	15% MINIMUM MINIMUM OF TWO (2) TREES AND THREE (3) SHRUBS PROVIDED FOR EVERY 3,000 SF OF REQUIRED OPEN SPACE. 50% OF THE TREES REQUIRED FOR OPEN SPACE SHALL BE EVERGREEN IN NATURE.

### LEGEND

EXISTING	DESCRIPTION	PROPOSED
	STORM STRUCTURES	
	STORM SEWER	
	STORM SUBDRAIN	
	SANITARY MANHOLE	
	SANITARY SEWER	
	WATER MAIN	
	WATER SERVICE	
	WATER VALVE	
	FIRE HYDRANT ASSEMBLY	
	OVERHEAD ELECTRIC	
	PROPERTY LINE	
	EASEMENT LINE	
	MAJOR CONTOUR	
	MINOR CONTOUR	
	LIGHT POLE	
	ELECTRICAL BOX	

### LEGAL DESCRIPTION

THAT PART OF LOTS TWO (2) AND THREE (3) IN LINNWILL PLAT 2, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, AS SHOWN IN PLAT OF SURVEY #2018-18 RECORDED OCTOBER 15, 2019 IN BOOK 17544 AT PAGE 254.

AND

LOTS FOUR (4), FIVE (5), SIX (6), SEVEN (7), AND THE NORTH 79.3 FEET OF THE EAST 80 FEET OF LOT EIGHT (8) IN LINNWILL PLAT 2, AN OFFICIAL PLAT, NOW INCLUDING IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA.

AND

THAT PART OF LOTS TEN (10) AND ELEVEN (11) IN LINNWILL PLAT 2, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, AS SHOWN IN PLAT OF SURVEY #2020-15 RECORDED APRIL 13, 2020 IN BOOK 17776 AT PAGE 917.

Sheet Title	Sheet Number
COVER SHEET	1
CONCEPT PLAN	2

BUILDING TYPE		FAST & FRESH
GROSS LOT AREA		1.79 AC ±
GROSS FLOOR AREA		6,570 SF ±
GROSS CANOPY AREA		5,400 SF ±
HEIGHT	BUILDING	25'-0"
	CANOPY	25'-0"
LANDSCAPE/OPENSOURCE COVERAGE		MIN. 15%
IMPERVIOUS COVERAGE		MAX. 85%
PROVIDED PARKING	STANDARD	19
	FUEL SPACES	16
	ADA	2

**OWNER**  
HURD INDIANOLA, LLC  
2000 FULLER ROAD  
WEST DES MOINES, IA 50265  
ATTN: RICHARD HURD

**DELAVAN, INC**  
811 4TH STREET  
DES MOINES, IOWA 50265

**APPLICANT**  
HY-VEE, INC.  
5820 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266  
ATTN: JOHN BREHM

**CIVIL ENGINEER**  
SHIVE-HATTERY, INC.  
4125 WESTOWN PARKWAY  
SUITE #100  
WEST DES MOINES, IOWA 50266  
515-223-8104

**LANDSCAPE ARCHITECT**  
SHIVE-HATTERY, INC.  
4125 WESTOWN PARKWAY  
SUITE #100  
WEST DES MOINES, IOWA 50266  
515-223-8104

**SITE SURVEY**  
SHIVE-HATTERY, INC.  
4125 WESTOWN PARKWAY  
SUITE #100  
WEST DES MOINES, IOWA 50266  
515-223-8104

**ZONING:**  
EXISTING: CMC (COMMUNITY COMMERCIAL)  
PROPOSED: PUD (PLANNED UNIT DEVELOPMENT)

**USE:**  
EXISTING: RESTAURANT FAST FOOD, SIC 541  
PROPOSED: CONVENIENCE STORE



THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE. THE USER SHALL BE RESPONSIBLE TO OBTAIN THE COMPLETE DIRECTORY OF UTILITIES BY THE AREA. IT IS THE CLIENT/CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.

CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR PROJECT SPECIFICATIONS SHALL CONFORM TO THE DES MOINES METROPOLITAN DESIGN STANDARDS WITH WEST DES MOINES ADDENDA.

### CIVIL ENGINEER

**KELSEY A. SCALLON**  
LICENSED PROFESSIONAL ENGINEER  
P25081

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Signature: *Kelsey Scallon* Jun 18 2020 12:49 PM

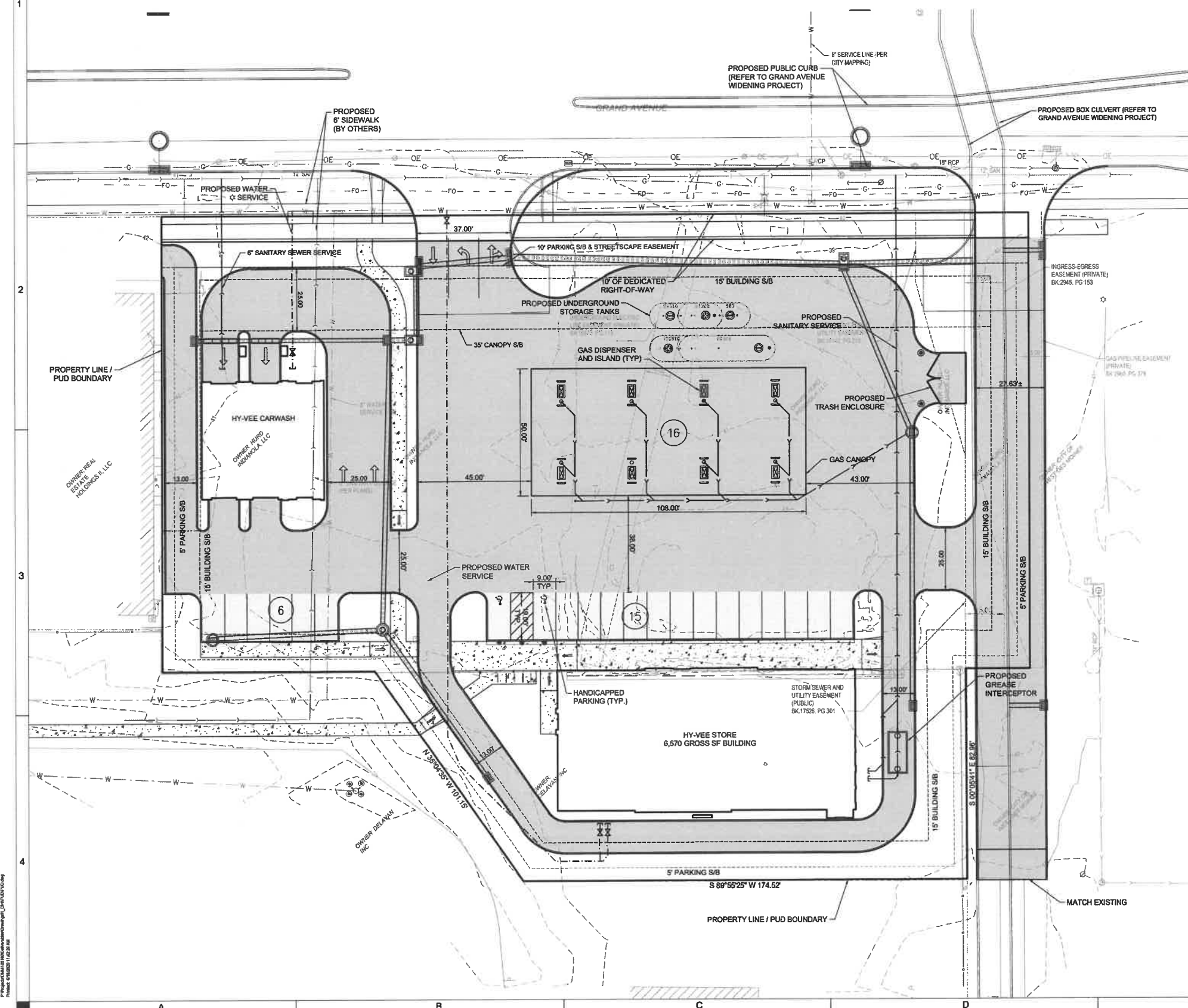
Printed or typed name: KELSEY A. SCALLON  
License Number: 25081  
My License Renewal Date is: DECEMBER 31, 2021  
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:

# LINNWILL HY-VEE - PUD SKETCH PLAN

300 GRAND AVENUE  
WEST DES MOINES, IOWA

## GENERAL NOTES:

1. THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THE DRAWINGS ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVE-HATTERY, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO SHIVE-HATTERY, INC. AND NOT SHOWN ON THIS DRAWING. THE UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
3. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
4. STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER AND DEVELOPERS.
5. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE AND ANY OFF SITE BORROW OR DISPOSAL AREAS USED FOR THIS PROJECT. COMPLY WITH SOIL EROSION CONTROL REQUIREMENTS OF IOWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
6. NO MECHANICAL EQUIPMENT OVER 3' IN HEIGHT IS ALLOWED IN ANY REQUIRED SETBACK AREA.
7. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
8. THE SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
9. ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
10. NOTIFY UTILITY COMPANIES WHO HAVE FACILITIES THAT ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN THE CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
11. CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
12. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ACCESS TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION. ANY WORK ON A PUBLIC STREET OR ALLEY THAT REQUIRES CLOSURE WILL REQUIRE A CLOSURE NOTICE SUBMITTED TO WEST DES MOINES PUBLIC WORKS 48 HOURS IN ADVANCE.
13. ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED TO FINAL FINISH GRADES.
14. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
15. SIGNING, STRIPING OR OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO PUBLIC STREETS SHOULD CONFORM TO THE (MUTCD) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (FEDERAL HIGHWAY ADMINISTRATION, 2009 EDITION).
16. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS, AND WDM ADDENDUMS.



**SHIVEHATTERY**  
ARCHITECTURE + ENGINEERING  
4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa 50266  
515.233.6104 | www.shivehattery.com  
Iowa | Illinois | Indiana

**LINNWILL HY-VEE**

DRAWN: TJS  
APPROVED: [Signature]  
ISSUED FOR: CITY APPROVAL  
DATE: 2020-05-18  
PROJECT NO: 4185180  
FIELD BOOK: [Blank]  
CLIENT NO: [Blank]

CONCEPT PLAN

HY-VEE INC.  
300 GRAND AVENUE | WEST DES MOINES, IOWA 50265

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**MASONRY UNITS:**

- 1 BRICK: KANSAS BRICK & TILE  
COLOR: 500 MORGAN  
SIZE: MODULAR  
BOND: STACED  
MORTAR/MATCH SOLIDUMEN 2011 DARK BUFF
- 2 BRICK: GLEN GARY  
COLOR: GLAZED BLACK  
SIZE: 18"X18"  
BOND: STACED  
MORTAR: GRAY
- 3 2X1 BRICKSTONE  
THICKNESS: 2"

**GLASS & GLAZING:**

- BASIS OF DESIGN: SOLARBAN 60 SOLAR CONTROL, LOW-E GLASS WITH ARGON GAS
- VISION GLASS: 1" CLEAR ANNEALED INSULATING GLAZING UNIT, LOW-E #2 SURFACE
- VISION GLASS: 1" CLEAR TEMPERED INSULATING GLAZING UNIT, LOW-E #2 SURFACE
- VISION GLASS: 5/8" CLEAR TEMPERED INSULATING GLAZING UNIT, LOW-E #2 SURFACE

**CLADDING & CANOPIES:**

- ALUMINUM CANOPY STRUCTURE BY DIVISION 8  
COLOR/MATCH FIRESTONE URM-CLAD "CHARCOAL GRAY"
- CANOPY STRUCTURE  
COLOR: "CHROME"
- HORIZONTAL CLADDING: STONEWOOD  
COLOR: "STEELGRAY"
- HORIZONTAL CLADDING: STONEWOOD  
COLOR: "BLUE-GRAY"
- VERTICAL CLADDING: STONEWOOD  
COLOR: T80

**METAL TRIM COLORS:**

- 1 PREFINISHED METAL WALL CAP  
COLOR: MATCH FIRESTONE URM-CLAD "CHARCOAL GRAY"
- 2 PREFINISHED 0.40 ALUMINUM PANELS  
COLOR: MATCH SHERWIN WILLIAMS "CONSERVATIVE GRAY"

**GLASS & GLAZING:**

- BASIS OF DESIGN: SOLARBAN 60 SOLAR CONTROL, LOW-E GLASS WITH ARGON GAS
- VISION GLASS: 1" CLEAR ANNEALED INSULATING GLAZING UNIT, LOW-E #2 SURFACE
- VISION GLASS: 1" CLEAR TEMPERED INSULATING GLAZING UNIT, LOW-E #2 SURFACE
- VISION GLASS: 5/8" CLEAR TEMPERED INSULATING GLAZING UNIT, LOW-E #2 SURFACE
- VISION GLASS: 1/4" CLEAR FLOAT GLASS
- VISION GLASS: 1/4" CLEAR TEMPERED FLOAT GLASS

**STOREFRONT NOTES**

- 1. STOREFRONT FRAMING TO BE THERMALLY BROKEN, THERMALLY ISOLATED OR COMPENSABLE PRODUCT FROM VESTALIA ARCHITECTURAL PRODUCTS OR SICO CORP.
- 2. ALUMINUM ENTRANCE DOORS TO HAVE 6" WIDE TOP & SIDE RAIS & 1/4" BOTTOM RAIL IN DIVIDED STOPS.
- 3. ALUMINUM FINISH TO BE CLEAR ANODIZED ALUMINUM.
- 4. INTERIOR FRAMES ARE NOT REQUIRED TO BE THERMALLY BROKEN.



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 3D VIEW  
SCALE:

LOCATION:  
West Des Moines, IA Fast & Fresh -  
Grand

HYVEE  
EMPLOYEE OWNED

HY-VEE, INC.  
8620 WESTTOWN PARKWAY #20286  
WEST TOWN, IA 50266  
TELEPHONE: (515) 287-2800  
FAX: (515) 287-2825



EXTERIOR  
ELEVATIONS

DESIGNER: TJV	DATE: 2/05/20
SCALE: 1/8" = 1'-0"	DWG NUMBER: A6.0
SHEET:	