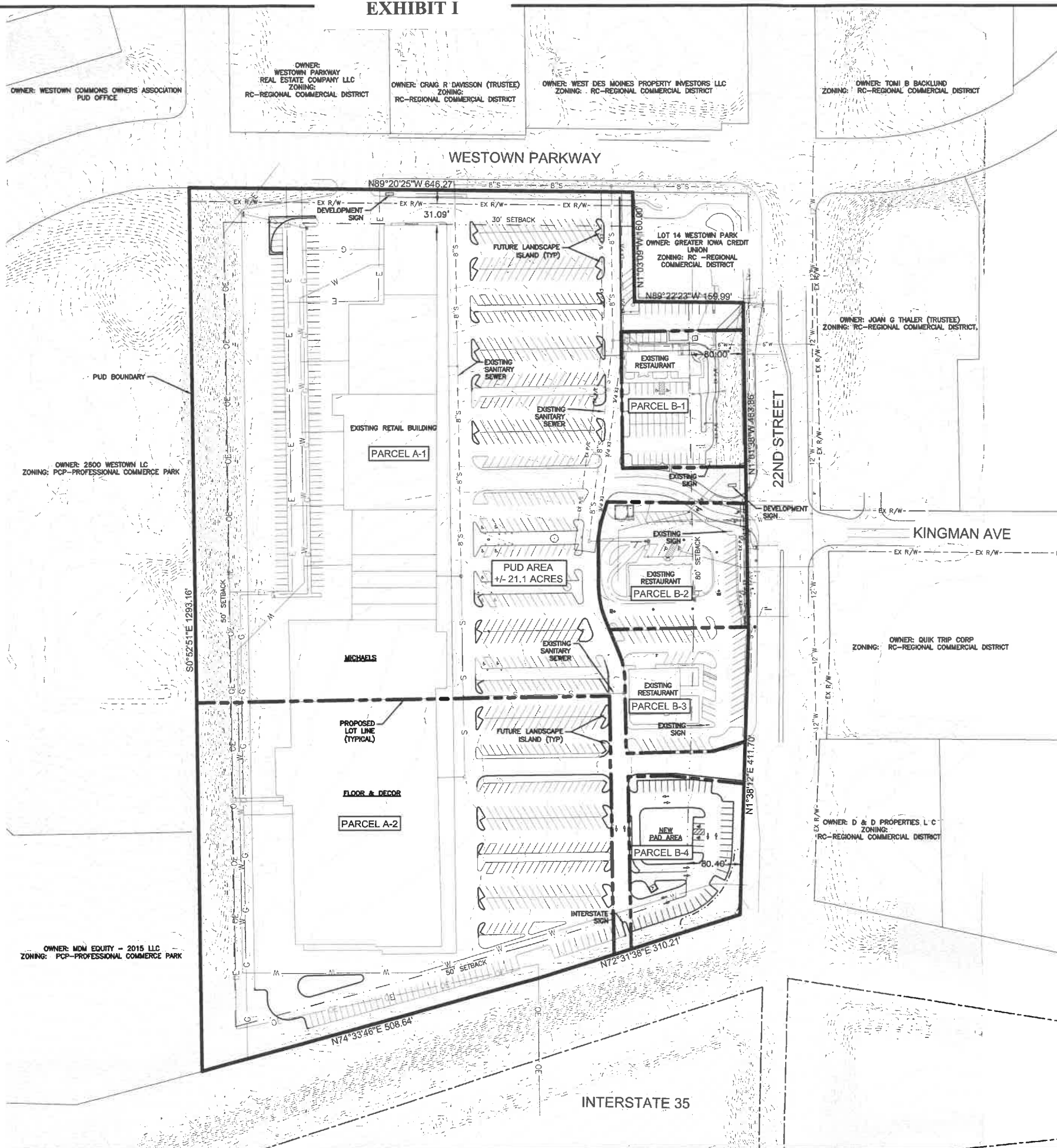


EXHIBIT I



BULK REGULATIONS

EXISTING:
SETBACKS:
 FRONT= 100 FEET
 SIDE= 50 FEET (SETBACK OF 0 FEET IF ABUTS A SIMILAR DISTRICT)
 REAR= 50 FEET (SETBACK OF 0 FEET IF ABUTS A SIMILAR DISTRICT)

MINIMUM LOT AREA: 60,000 SQUARE FEET
 EXISTING USES: RETAIL, RESTAURANT AND OFFICE

PROPOSED:
 FRONT= 30 FEET (WESTTOWN PARKWAY)
 80 FEET (22ND STREET)
 SIDE= 50 FEET (SETBACK OF 0 FEET IF ABUTS A SIMILAR DISTRICT OR INTERNAL TO SITE)
 REAR= 50 FEET (SETBACK OF 0 FEET IF ABUTS A SIMILAR DISTRICT OR INTERNAL TO SITE)

MINIMUM LOT AREA: 30,000 SQUARE FEET
 PROPOSED USES: RETAIL, RESTAURANT, OFFICE AND COFFEE SHOP

PARKING SUMMARY

EXISTING REQUIRED (PER CURRENT CITY ZONING ORDINANCE):

PLANNED COMMERCIAL:
 191,240 SF @ 4.5 SPACES/1,000 SF OF GFA = 861 SPACES
 TOTAL EXISTING PARKING PROVIDED = 926 SPACES

PROPOSED REQUIRED (PER PUD):

FLOOR & DECOR:
 78,000 SF @ 1 SPACE/1,000 SF OF GFA = 78 SPACES

RETAIL:
 53,926 SF @ 3.5 SPACES/1,000 SF OF GFA = 189 SPACES

OFFICE:
 1,424 SF @ 3.5 SPACES/1,000 SF OF GFA = 5 SPACES

RESTAURANT - SIT DOWN (NO DRIVE-THROUGH):
 7,648 SF @ 20 SPACES/1,000 SF OF GFA = 153 SPACES

RESTAURANTS - FAST FOOD WITH DINING:
 11,347 SF @ 15 SPACES/1,000 SF OF GFA = 171 SPACES

11 QUEUING SPACES PER DRIVE-THROUGH (5 OF WHICH SHALL BE DESIGNATED FOR THE ORDERING STATION IF IT IS SEPARATE FROM THE PICKUP WINDOW)

BANK (OFF SITE, GREATER IOWA CREDIT UNION)
 4,704 SF @ 3 SPACES/1000 SF = 15 SPACES

PHYSICAL FITNESS FACILITIES:
 25,691 SF @ 5 SPACES/1,000 SF OF GFA = 129 SPACES

VEHICLE SERVICE STATIONS:
 3 SERVICE BAYS @ 3 SPACES/SERVICE BAY = 9 SPACES
 3 VEHICLES @ 1 SPACE/SERVICE VEHICLE = 3 SPACES
 10 EMPLOYEES @ 1 SPACE/EMPLOYEE = 10 SPACES

NEW PAD - ASSUME FAST FOOD WITH DINING
 4,500 SF @ 15 SPACES/1000 SF = 68 SPACES

TOTAL PROPOSED PARKING REQUIRED = 830 SPACES

PROVIDED PARKING = 872 SPACES

OPEN SPACE

(OPEN SPACE CALCULATIONS EXCLUDES AREAS FROM LOT 14 AND IRRECOVERABLE ROW ALONG WESTTOWN PARKWAY. BOTH EXISTING AND PROPOSED CALCULATIONS ARE BASED OFF OF MAP INFORMATION AND FUTURE CONCEPTUAL IMPROVEMENTS)

EXISTING:
 EXISTING REQUIRED (25% OF 906,362 SF) = 226,591 SF
 EXISTING PROVIDED = 198,362 SF (21.9%)

FUTURE:
 FUTURE ESTIMATED = 214,130 SF (23.6%)

VICINITY MAP



OWNER / APPLICANT

WESTOWNE CENTER ASSOCIATES LLC
 1500 22ND ST
 WEST DES MOINES, IA 50266
 PH: 816-412-5858

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
 CONTACT: JOSH TRYGSTAD
 3405 SE CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PH. (515) 369-4400
 FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
 CONTACT: MIKE BROONER
 3405 SE CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PH. (515) 369-4400
 FX. (515) 369-4410

COMP. PLAN DESIGNATION

EXISTING: RC - REGIONAL COMMERCIAL

ZONING

EXISTING: RC - REGIONAL COMMERCIAL
 PROPOSED: PUD

LEGAL DESCRIPTION

LOT 3 AND LOT 15, WESTTOWN PARK, AN OFFICIAL PLAT AND PARCEL 'A' OF SAID LOT 3 AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 13937, PAGE 101, ALL IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA.

EXCEPT THE EAST 10.00 FEET THEREOF. ALL CONTAINING 21.10 ACRES (919,314 SQUARE FEET).

PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.



Plans included are for illustrative purposes only.

Approve plans on file with the City.

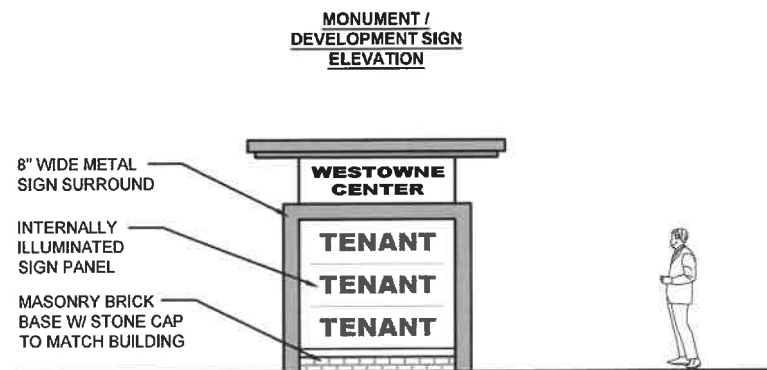
REVISIONS:	DATE
PUD SKETCH PLAN #7	07/19/21
PUD SKETCH PLAN #6	06/23/21
PUD SKETCH PLAN #5	06/11/21
PUD SKETCH PLAN #4	06/02/21
PUD SKETCH PLAN #3	05/16/21
PUD SKETCH PLAN #2	04/12/21

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410



WESTOWNE CENTER
PUD SKETCH PLAN

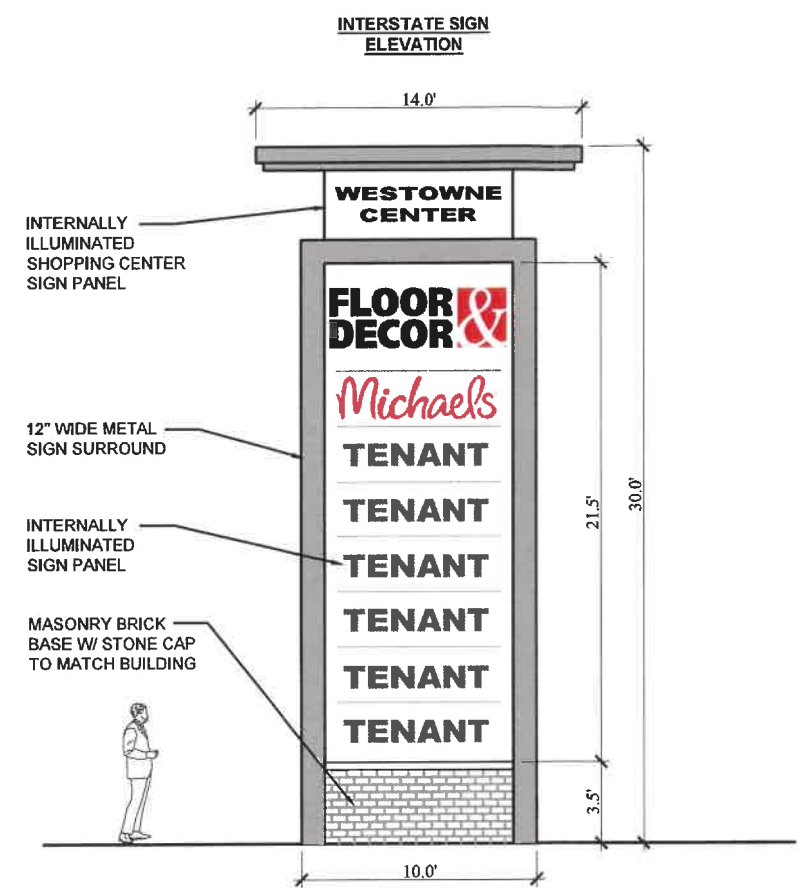
FILE: H:\2021\2102052\2102052-PUD SKETCH PLAN
 DATE: 7/13/21 4:31 PM
 DRAWN BY: JAC
 CHECKED BY: JAC



MONUMENT SIGN
(PER ZONING CODE)
64 S.F. PER FACE
7'-0" MAX. HEIGHT
10'-0" MIN. SETBACK

SIGN PROPOSED (PUD)
64 S.F. PER FACE
7'-0" HEIGHT

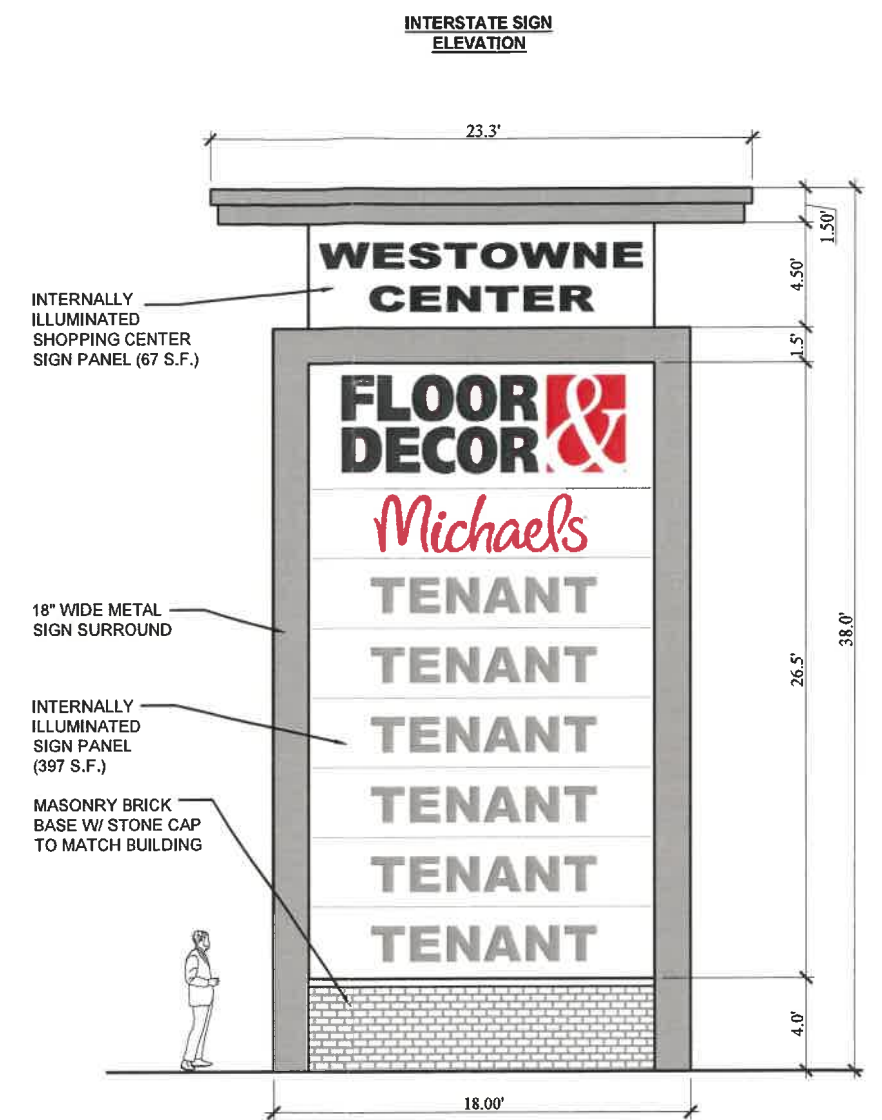
Allowed (1)



INTERSTATE SIGN
(PER ZONING CODE)
200 S.F. PER FACE
30'-0" MAX. HEIGHT
10'-0" MIN. SETBACK
100'-0" MAX. SETBACK

SIGN PROPOSED (PUD)
200 S.F. PER FACE
30'-0" HEIGHT

Allowed (2)



INTERSTATE SIGN
(PER ZONING CODE)
200 S.F. PER FACE
30'-0" MAX. HEIGHT
10'-0" MIN. SETBACK
100'-0" MAX. SETBACK

SIGN PROPOSED (PUD)
464 S.F. PER FACE
38'-0" HEIGHT

Proposed (1)

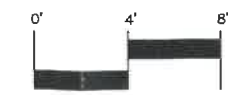
This drawing has been prepared by the Architect, or under the Architect's direct supervision. This drawing is intended to be conceptual in nature only. Property boundaries, setbacks, easements, topography, utilities, structures and other physical features shown herein are based on the information available to the architect at the time of design. This document reflects a site plan concept only, and does not necessarily reflect all governing authority requirements, including green space calculations, bulk regulations, landscaping, storm water management, city input, site signage, grading, and other factors that may impact final site design. This drawing shall not be used for construction or legally binding documentation. (C) Copyright 2021 by Simonson & Associates Architects, L.L.C.

Westowne Center
Sign Concept #2
West Des Moines, Iowa

July 14, 2021



1" = 8'-0" @ 11"x17" Sheet
SAA #12001A



DRAWN BY: AVG



simonson & associates architects LLC
1717 ingersoll avenue suite 117 des moines ia 50309
phn 515 440 5626 www.simonsonassoc.com