

Approve plans on file with the City.

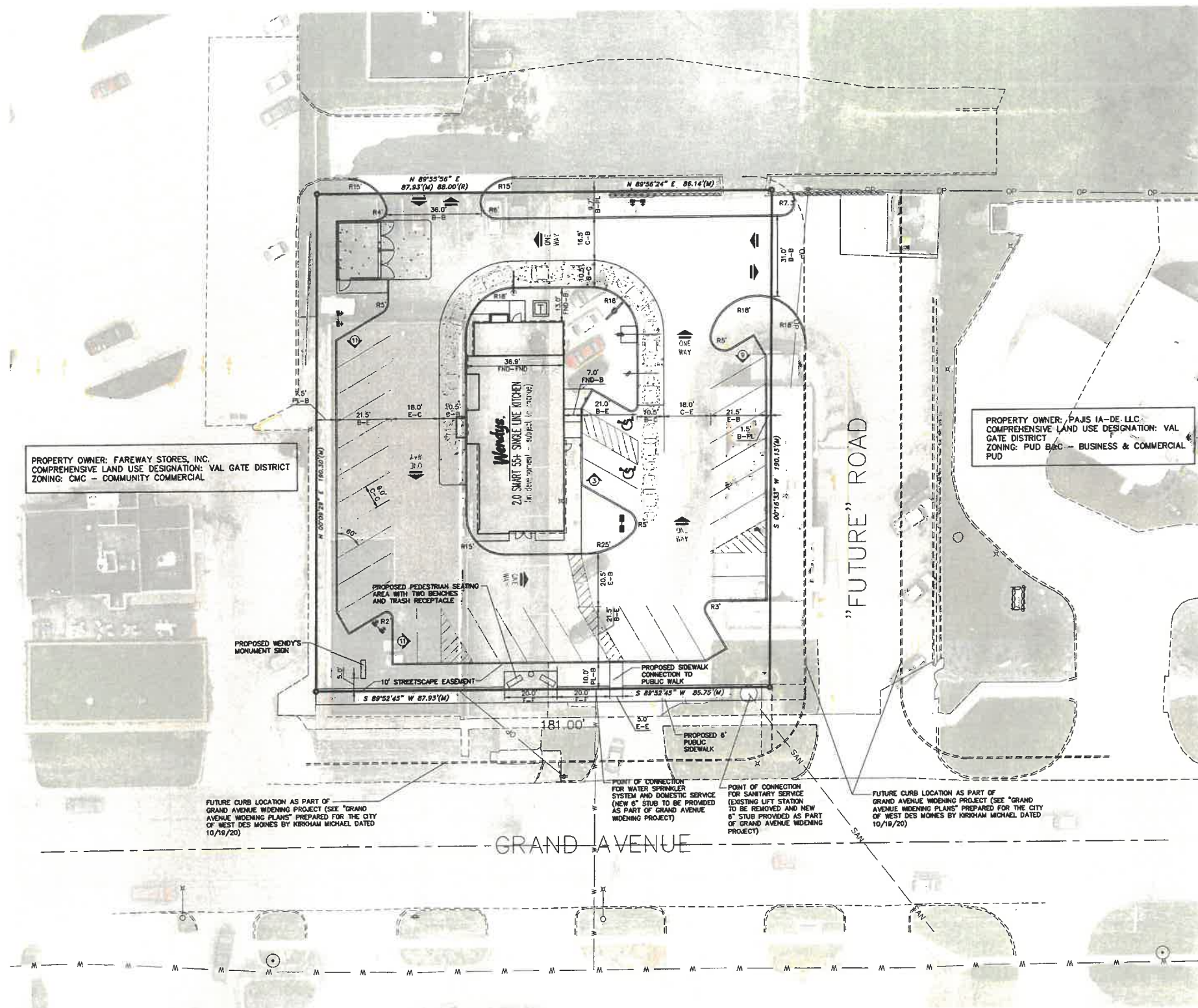
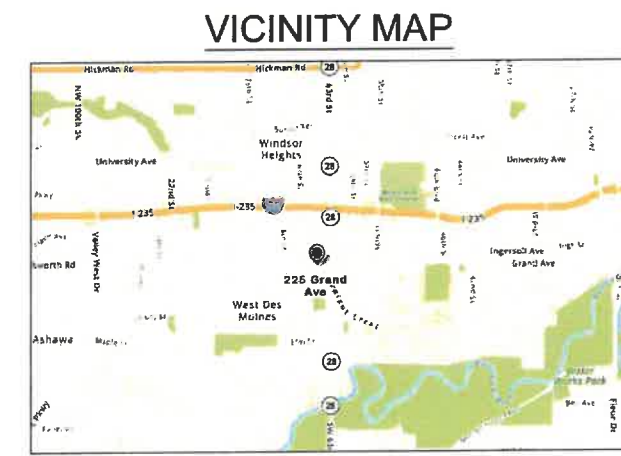
# WENDY'S PUD SKETCH

**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHY (SURVEY PROJECT #2102615 DATED 02/23/2021) PREPARED BY: KIRKHAM MICHAEL 4930 114TH STREET, URBANDALE, IA 50322 515-270-0848  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**SITE DATA**

<b>LOT INFORMATION</b>	
LOT AREA	= 33,073 S.F. (0.76 AC.)
BUILDING AREA	= 2,584 S.F.
EX. COMP. LAND USE DESIGNATION = VAL GATE DISTRICT	
EX. ZONING DESIGNATION = CMC - COMMUNITY COMMERCIAL	
EX. LAND USE = CMC - COMMUNITY COMMERCIAL	
PROP. COMP. LAND USE DESIGNATION = VAL GATE DISTRICT	
PROP. ZONING DESIGNATION = CMC-COMMUNITY COMMERCIAL	
PROP. LAND USE = CMC - COMMUNITY COMMERCIAL	
<b>ON SITE PARKING DATA</b>	
REGULAR SPACES	32
ADA ACCESSIBLE SPACES	2
TOTAL SPACES	34

**LEGAL DESCRIPTION:**  
 THE WEST 150.00 FEET OF LOT 6, EXCEPT THE EAST 64.00 FEET AND THE SOUTH 10.00 FEET THEREOF AND LOT 7, EXCEPT THE SOUTH 10.00 FEET THEREOF, McCURRIN PLACE, AN OFFICIAL PLAT, NOW IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, CONTAINING: (33,073 SQUARE FEET) 0.76 ACRES, MORE OR LESS.  
 SUBJECT TO ALL EASEMENTS AND AGREEMENTS OF RECORD.



PROPERTY OWNER: FAREWAY STORES, INC.  
 COMPREHENSIVE LAND USE DESIGNATION: VAL GATE DISTRICT  
 ZONING: CMC - COMMUNITY COMMERCIAL

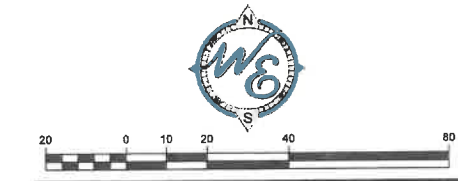
PROPERTY OWNER: PAJIS IA-DE, LLC.  
 COMPREHENSIVE LAND USE DESIGNATION: VAL GATE DISTRICT  
 ZONING: PUD B&C - BUSINESS & COMMERCIAL PUD

FUTURE CURB LOCATION AS PART OF GRAND AVENUE WIDENING PROJECT (SEE "GRAND AVENUE WIDENING PLANS" PREPARED FOR THE CITY OF WEST DES MOINES BY KIRKHAM MICHAEL DATED 10/19/20)

POINT OF CONNECTION FOR WATER SPRINKLER SYSTEM AND DOMESTIC SERVICE (NEW 8" STUB TO BE PROVIDED AS PART OF GRAND AVENUE WIDENING PROJECT)

POINT OF CONNECTION FOR SANITARY SERVICE (EXISTING LIFT STATION TO BE REMOVED AND NEW 8" STUB PROVIDED AS PART OF GRAND AVENUE WIDENING PROJECT)

FUTURE CURB LOCATION AS PART OF GRAND AVENUE WIDENING PROJECT (SEE "GRAND AVENUE WIDENING PLANS" PREPARED FOR THE CITY OF WEST DES MOINES BY KIRKHAM MICHAEL DATED 10/19/20)



WENDY'S PUD SKETCH

NO.	REVISIONS
1	REVISIONS PER CITY REVIEW COMMENTS
2	REVISIONS PER CITY REVIEW COMMENTS

Prepared For:

King Enterprises  
 50 W Douglas, Suite 1101  
 Freeport, IL 61032

WENDY'S - WEST DES MOINES, IA  
 225 Grand Avenue  
 West Des Moines, Iowa

Wendy's

Prepared By:

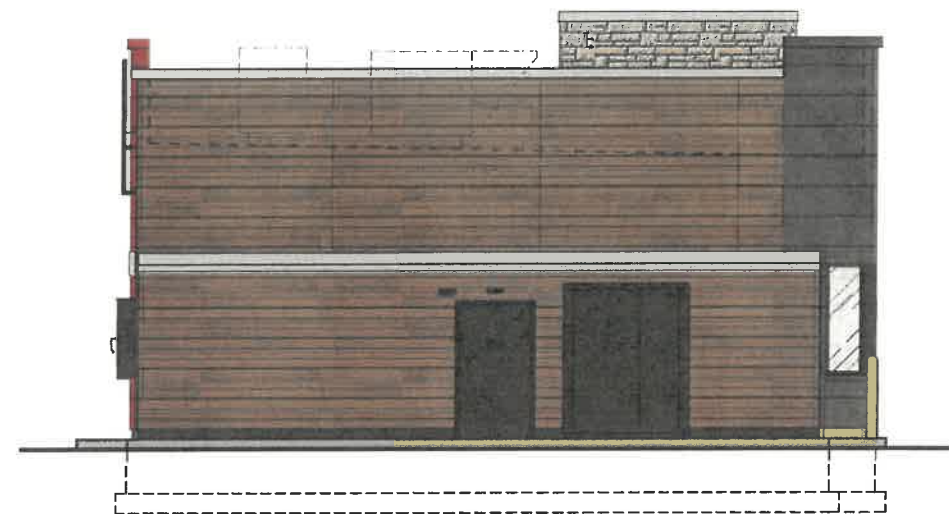
Wat & Garmark Engineering Resources  
 2631 Ginger Woods Parkway | Aurora, IL 60502 | (815) 275-1800  
 watgarmark-engineering.com

CHECKED BY: J. MILLER
DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT
DATE: MARCH 3, 2021
SCALE: 1" = 20'
PROJECT NO.: 20-004

z:\caga\20\paj\20004\20004 - Revised PUD Plan.dwg, 2004 PUD PLAN



225 Grand Ave  
West Des Moines, IA



**NORTH ELEVATION**  
1/4" = 1'-0" ④



**SOUTH ELEVATION**  
1/4" = 1'-0" ③

T.O. BLADE FRAMING  
21'-0"

T.O. DINING PARAPET  
14'-10"

T.O. GLAZING  
11'-8"

T.O. CONC. SLAB  
0'-0"

T.O. BLADE FRAMING  
21'-0"

T.O. PARAPET FRAMING  
18'-3"

T.O. DINING PARAPET  
14'-10"

T.O. GLAZING  
11'-8"

T.O. CONC. SLAB  
0'-0"

-  Red  
Fiber Cement Cladding
-  Gray  
Fiber Cement Cladding
-  Cedar  
Fiber Cement Cladding
-  Silver  
Metal Trim
-  Dark Bronze  
Storefront
-  Limestone  
Stone Veneer



**EAST ELEVATION**  
1/4" = 1'-0" ②

T.O. PARAPET FRAMING  
18'-3"

T.O. PARAPET FRAMING  
18'-3"

B.O. AWNING  
6'-4"

T.O. BLADE FRAMING  
21'-0"

T.O. DINING PARAPET  
14'-10"

T.O. GLAZING  
11'-8"

T.O. CONC. SLAB  
0'-0"



**WEST ELEVATION**  
1/4" = 1'-0" ①

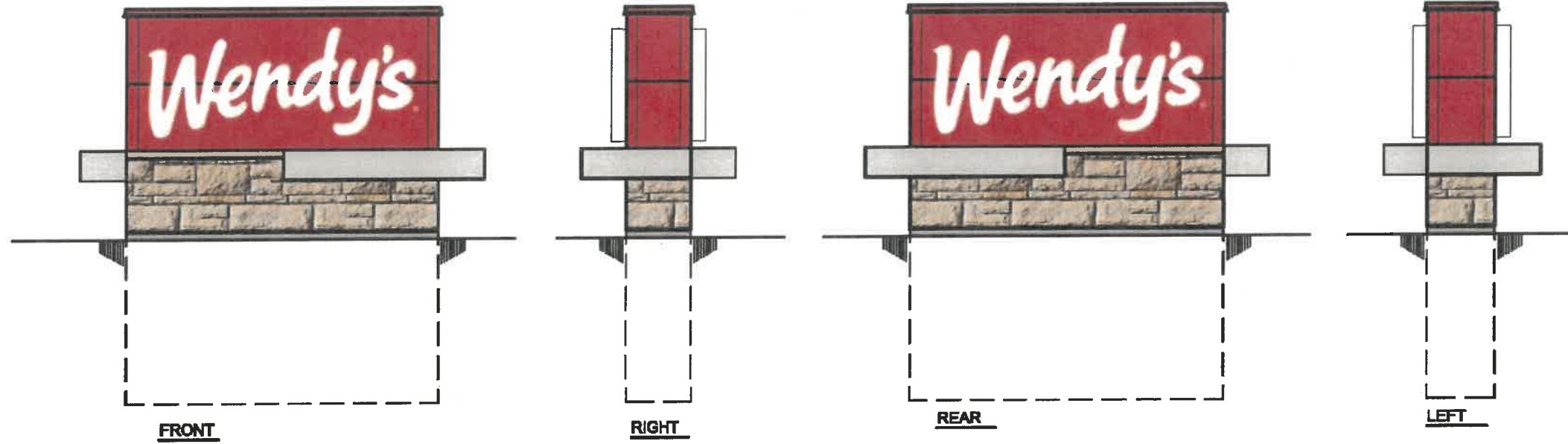
**Wallin ■ Gomez**  
ARCHITECTS LTD

711 S. Dearborn Street, Suite 606 | Chicago, Illinois 60605 | 312.427.4702

04.09.2021



225 Grand Ave  
West Des Moines, IA



**MONUMENT SIGN ELEVATION**

1/4" = 1'-0"

1

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